

AN ORDINANCE AMENDING ORDINANCE 19, BY ADOPTING THE INTERNATIONAL CODE COUNCIL STANDARD BUILDING, PLUMBING, MECHANICAL, FUEL GAS, PRIVATE SEWAGE DISPOSAL, FIRE, AND RESIDENTIAL CODES, 2009 EDITIONS; REPEALING ORDINANCE 19, AMENDMENT #6 APPROVED NOVEMBER 1, 2006; PROVIDING FOR SEVERABILITY; PROVIDING FOR PUBLICATION AND AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Garden Ridge deems it necessary to amend this ordinance providing requirements for building construction in order to protect the health, safety and welfare of the citizens of Garden Ridge.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARDEN RIDGE, TEXAS;

1. That Ordinance 19, Amendment #6 approved on November 1, 2006 is repealed and that Section 2 of Ordinance 19 is hereby amended in its entirety to now read as follows:

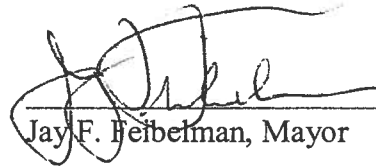
SECTION 2.

THAT, the City of Garden Ridge, Comal County, Texas hereby adopts a minimum building requirements code for construction, alteration, repair and additions to every building and structure, as well as any appurtenances connected or attached to such buildings or structures in the City. These minimum building requirements also include the construction and/or installation of fences, retaining walls, swimming pools, barns, patios, carports, play houses, fixed dog kennels, decks, gazebos, spas, hot tubs (fixed), lawn sprinkler systems and security alarm systems. The following standards and provisions, as well as those attached as part of this Ordinance, shall constitute and be known as "The Building Code" and are herein referred to as "the Code";

- a. The International Building Code, 2009 edition; and
- b. The International Plumbing Code, 2009 edition, with the exception of the following portions:
 - 1) Section 608.16.5, Connections to lawn irrigations systems
 - 2) Section 312.9, Inspection and testing of backflow prevention assemblies
- c. The International Mechanical Code, 2009 edition; and
- d. The International Fuel Gas Code, 2009 edition; and
- e. The International Fire Prevention Code, 2009 edition; and
- f. The International Residential Code, 2009 edition; and
- g. The minimum building requirements of the City of Garden Ridge, as specified in Attachments 1, 2 and 3 of Ordinance 19.

2. SEVERABILITY: If any section, paragraph, sub-paragraph, clause or phrase of this amendment shall be adjudged to be invalid or held to be unconstitutional, the same shall not affect the validity of this amendment or Ordinance 19 as a whole or any part or any provision thereof other than the part so decided to be invalid or unconstitutional.
3. EFFECTIVE DATE: This Ordinance shall be effective from and after the date of approval and adoption as provided by law and publication of the caption in the official newspaper of the City.

PASSED AND APPROVED this 5th day of May, 2010.



Jay F. Heibelman, Mayor

ATTEST:



Yolanda Benitez, City Secretary

ORDINANCE NUMBER 19

AN ORDINANCE ADOPTING THE SOUTHERN BUILDING CODE CONGRESS STANDARD BUILDING, PLUMBING, MECHANICAL, GAS, SWIMMING POOL AND FIRE PREVENTION CODES, 1991 EDITIONS, AND ALL FUTURE SUPPLEMENTS AND ESTABLISHING A BUILDING CODE FOR THE CITY OF GARDEN RIDGE; PROVIDING FOR A REVIEW AND APPROVAL PROCESS FOR CONSTRUCTION; PROVIDING FOR MINIMUM FOUNDATION, FRAMING, PLUMBING AND MECHANICAL SYSTEM REQUIREMENTS; PROVIDING FOR INSPECTION REQUIREMENTS; PROVIDING FOR THE REQUIRED USE OF CHEMICAL TOILETS AND ROLL-OFF TRASH CONTAINERS AT CONSTRUCTION SITES; PROHIBITING THE BURNING OF TREES, BRUSH, AND OTHER MATERIALS AT A CONSTRUCTION SITE; PROVIDING FOR A PENALTY OF A FINE OF NOT LESS THAN TWO HUNDRED DOLLARS (\$200.00), NOR MORE THAN TWO THOUSAND DOLLARS (\$2,000.00) UPON CONVICTION FOR EACH VIOLATION; PROVIDING FOR EACH SUCCEEDING DAY THAT THE VIOLATION PERSISTS BEING CONSIDERED A NEW VIOLATION; PROVIDING FOR SEVERABILITY; PROVIDING FOR PUBLICATION AND AN EFFECTIVE DATE.

WHEREAS, The City Council of the City of Garden Ridge deems it necessary to adopt this Ordinance providing requirements for building construction in order to protect the health, safety and welfare of the citizens of Garden Ridge.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARDEN RIDGE, COMAL COUNTY, TEXAS:

SECTION 1:

THAT, the City Ordinance Number 19, City of Garden Ridge, Comal County, Texas, dated August 7, 1991, and all amendments thereto, is hereby superseded.

SECTION 2:

THAT, the City of Garden Ridge, Comal County, Texas, hereby adopts a minimum building requirements code for construction, alteration, repair and additions to every building and structure, as well as any appurtenances connected or attached to such buildings or structures in the City. These minimum building requirements also include the construction and/or installation of fences, retaining walls, swimming pools, barns, patios, carports, play houses, fixed dog kennels, decks, gazebos, spas, hot tubs (fixed), lawn sprinkler systems and security alarm systems. The following standards and provisions, as well as those attached as part of this Ordinance, shall constitute and be known as "The Building Code" and are herein referred to as "the Code":

- a. The Southern Building Code Congress Standard Building Code, 1991 edition, and all future amendments thereto; and
- b. The Southern Building Code Congress Standard Plumbing Code, 1991 edition, and all future amendments thereto; and
- c. The Southern Building Code Congress Standard Mechanical Code, 1991 edition, and all future amendments thereto; and
- d. The Southern Building Code Congress Standard Gas Code, 1991 edition, and all future amendments thereto; and
- e. The Southern Building Code Congress Standard Swimming Pool Code, 1991 edition, and all future amendments thereto; and
- f. The Southern Building Code Congress Standard Fire Prevention Code, 1991 edition, and all future amendments thereto; and
- g. The minimum building requirements of the City of Garden Ridge, as specified in Attachments Numbers 1 and 2 to this Ordinance.

SECTION 3:

THAT, the City of Garden Ridge may, from time to time, determine that local modifications to the above 1991 editions and their supplements are necessary and appropriate to meet the unique construction needs of the City of Garden Ridge, Texas.

SECTION 4:

THAT, this code is hereby declared remedial, and is intended to secure and protect the public safety, health, and general welfare with building standards that protect life and property from fire and other hazards associated with the design and construction of houses and commercial facilities.

SECTION 5:

THAT, a copy of the adopted code shall be maintained as a public record in the Garden Ridge City Hall and references will be available for public inspection and copy during regular business hours.

SECTION 6:

THAT, the provisions of this Ordinance shall apply to all buildings constructed and maintained in the City of Garden Ridge, except the utilities or public service employees engaged in construction or maintenance of their own duly permitted facilities and equipment.

SECTION 7:

THAT, the Building Inspectors for the City of Garden Ridge shall have the following powers and duties, in addition to other powers and duties authorized by this Ordinance:

- a. The Inspector, as properly identified, may enter the structure portion of any building or premises during reasonable hours to perform any duty imposed upon him by this code.
- b. The Inspector shall assure that a permit is issued for each type job/project defined in this Ordinance; shall assure that established permit fees are properly paid; and shall assure that all work done under such permits is accomplished in accordance with this Ordinance and under the direct supervision of a person or persons permitted by this Ordinance.
- c. The Inspector has the authority to issue verbal and written instructions to property owners and contractors to effect immediate correction of any detected unsafe conditions. The Inspector may order curtailment of all work to any building or structure which, in his opinion, is unsafe so as to create or pose a hazard to life; constitute a fire hazard; or be otherwise dangerous to life or property.
- d. The Inspector has the authority to Issue a "Stop Work" order upon noticing that work on any building or structure is being accomplished in violation of the code, or in a dangerous or unsafe manner. Such notice shall be in writing and shall be given to the owner of the property, or to the owners agent, or to the person so doing the work and shall state the conditions under which work may be resumed. Where an emergency exists, a "Stop Work" order can be verbal, provided a written notice is given within the following two work days.
- e. The Inspector may revoke a permit or approval, issued under the provisions of this Ordinance, in cases where there has been any misrepresentation, false statement, or misunderstanding as to a material fact in the application or plans on which the permit or approval was based.

SECTION 8:

THAT, disputes arising from administration of this code which cannot be resolved between the Building Inspector and a permittee will be brought to the attention of the City Administrator. The City Administrator will, in turn, refer such disputes to the Garden Ridge City Council for resolution. In all decisions, ruling of the Garden Ridge City Council are final, save further appeal to the courts. The Garden Ridge City Council will hear appeals of suspension, revocation, or denial of privilege to work in the City of Garden Ridge.

SECTION 9:

THAT, members of the City Council of Garden Ridge having an interest in a building, structure or project being inspected are hereby restrained from participating as a councilmember in any deliberation or discussion requiring a decision by the City Council regarding inspections and requirements for said building, structure or project.

SECTION 10:

THAT, individuals charged with enforcing this code, acting for the applicable government body in the discharge of their duties, shall not thereby render themselves personally liable and are hereby relieved from all personal liability for any damage that may accrue to persons or to property as a result of any act required or permitted in the discharge of their duties. Any suit or other action brought against any officer or employee because of such act performed or in the enforcement of the code requirements herein outlined shall be defended by the City of Garden Ridge until the final termination of any such proceedings.

SECTION 11:

THAT, the release from liability outlined in Section 10 of this Ordinance, shall not be construed to relieve from or to lessen the responsibility of any party owning, operating or controlling any apparatus, device, appliance, fixture or equipment for damages to persons or property caused by any defect therein, nor shall the City of Garden Ridge be held as assuming by this Ordinance any such liability by reason of the inspection or inspections authorized or required herein or the certificates of approval issued as herein or otherwise provided.

SECTION 12:

THAT, building inspections required by the City of Garden Ridge will be based on the originally approved plans for the residence or approved project. Any changes or modifications to the originally approved plans which are in substantial variance with the approved drawings and specifications will be submitted to the Building Inspector for approval prior to such changes being implemented. Failure to have a City Inspector perform any inspection required by this Ordinance is considered a violation of this Ordinance subject to the provisions of Section 14. Specific inspections are as outlined in Attachment No. 1 to this Ordinance.

SECTION 13:

THAT, it is hereby declared to be the intention of the City Council of Garden Ridge that all phrases, clauses, sentences, paragraphs and sections of this Ordinance are severable and that if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared unconstitutional by the valid judgement or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance, since the same would have been enacted by the City council without incorporation in this Ordinance of any unconstitutional phrase, clause, sentence, paragraph or section.

SECTION 14:

THAT, any person, firm or corporation who violates, disobeys, omits, neglects or refuses to comply with any provision of this Ordinance shall, upon conviction, be fined not less than two hundred dollars (\$200.00) nor more than two thousand dollars (\$2,000.00) for all violation involving fire, safety or public health and shall be fined not more than five hundred dollars (\$500.00) for all other violations of this Ordinance. Each day that a violation persists shall constitute a new and separate offense.

SECTION 15:

THAT, this Ordinance shall take effect immediately upon its passage, approval and publication according to law.

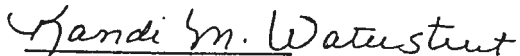
PASSED AND APPROVED BY THE CITY COUNCIL OF GARDEN RIDGE, TEXAS, THIS 4th DAY OF March _____, 1992.

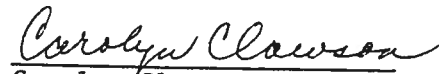
ATTACHMENTS

1. Minimum building and inspection requirements, City of Garden Ridge.
2. Construction details and exhibits.


LINDA M. KLEKAR, MAYOR

ATTEST:


KANDI M. WATERSTREET
CITY ADMINISTRATOR


Carolyn Clawson,
City Secretary

MINIMUM BUILDING AND INSPECTION REQUIREMENTS

CITY OF GARDEN RIDGE

As ordained by City of Garden Ridge Ordinance Number 19, this attachment contains the minimum building and inspection requirements of the City of Garden Ridge. Specific requirements are located in the following sections of this attachment.

<u>SECTION</u>	<u>TOPIC</u>	<u>PAGE</u>
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SECTION 1. APPROVAL FOR PROPOSED CONSTRUCTION.

1. Approval For Proposed Construction.

a. New Residences and Commercial Buildings:

(1) Drawings and specifications are to be submitted to the City in triplicate (3 sets) for review and approval by the City Architect for compliance with all applicable building code requirements. Upon approval, one copy of the plans/specifications will be returned to the owner/builder and the remaining two copies will be retained by the city for the building and electrical inspections. The minimum data to be submitted must include:

- (a) A site plan showing the measured setbacks of the proposed building from the front, sides and rear property lines; include legal description of site and street address.
- (b) Foundation plan, details and general notes.
- (c) Floor(s) plan with electric and plumbing details;
- (d) Square footage of foundation and upper floor plan measured outside to outside dimensions of the structure.
- (e) Drawings of external elevations indicating areas to have masonry surfaces and a typical wall section indicating materials and construction scheme to be used;
- (f) Heat and air conditioning plan in detail;
- (g) Building specifications to include the street address, lot and block number;
- (h) Name and phone number of the property owner, building contractor; and
- (i) Name and phone number of the architect or designer.

(2) Plans must comply with the applicable Southern Building Congress Standard Codes and pertinent City Building Code requirements to be considered for a permit. The owner or contractor shall see that the person preparing the plans has the necessary code information during the preparation of the plans and specifications. Plans deficient in information or details will be returned for revisions. In cases where the city building code requirements and the Southern Building Congress standard codes do not agree, the more stringent requirement(s) shall govern.

(3) The fee for review and approval of plans/specifications for new residences and/or commercial buildings will be as defined in Ordinance No. 11, Schedule of Permit and User Fees, and shall be paid when plans are submitted for review. Plans which are returned to the owner/builder because they were deficient in information or details as listed in paragraph (1) above will be subject to a fee for review of revised building plans and this fee must be paid before such plans will be reviewed.

MINIMUM BUILDING AND CONSTRUCTION REQUIREMENTS (CONTINUED)
CITY OF GARDEN RIDGE

ATTACHMENT NO. 1
ORDINANCE NO. 19
PAGE 3 OF 12

(4) Following approval of the building plans and specifications, a building permit is authorized to be issued. However, no building permit shall be issued until the owner/contractor provides the City a copy of the septic system layout and design as well as a copy of the Comal County Septic System Permit.

(5) Fees for a building permit, or permits, are as outlined in Ordinance No. 11, Schedule of Permit and User Fees.

b. Detached Garages, Carports, Workshops, Swimming Pools, and other Permanent Facilities:

(1) Drawings and specifications are to be submitted to the City in a single (1) copy for review of compliance with applicable building codes. No review or approval fee is charged for this category of facility construction.

(2) A building permit is authorized to be issued following review and approval of the plans and specifications. The fee(s) will be as outlined in Ordinance 11, Schedule of Permit and User Fees.

c. Fences, Lawn Sprinkler Systems, Retaining Walls, Spas, hot tubs, yard decks, pool decks, gazebos, storage sheds, play houses, fixed dog kennels, security alarm systems, sidewalks, driveways, etc.:

(1) A hand drawn sketch, with appropriate measurements, will be acceptable for review and approval of this type of facility construction.

(2) A building permit is authorized to be issued following review and approval of the plans. The fee(s) will be as outlined in Ordinance 11, Schedule of Permit and User Fees.

SECTION 2. SETBACK REQUIREMENTS

2. Setback Requirements. The following set-back requirements are mandatory. They are set by the Planning and Zoning Commission and apply to all construction, other than commercial, requiring a permit, as outlined in or inferred to by this Ordinance. Additional setback requirements are detailed in Ordinance No. 13. (Ordinance No. 13 shall be final authority on all setback disputes.) The following are the general setback requirements for residential areas of the city but they do not include driveways, mailboxes, eaves, steps, and open or uncovered porches or patios;

- a. Front Setback: There shall be a front yard having a minimum setback of forty-five (45) feet. -
- b. Side Setbacks: For all corner lots, the street-adjacent side yards shall have a minimum setback of twenty-five (25) feet, while the side yard not adjacent to the street shall have a minimum setback of fifteen (15) feet, or as modified for interior lots. For interior lots, there shall be a side yard on each side of the lot of not less than fifteen (15) feet.
- c. Rear Setbacks: There shall be a rear yard having a depth of at least twenty-five (25) feet. -
- d. A detached garage, carport, or detached accessory building may have a side yard of not less than five (5) feet provided that such garage or accessory building is located seventy-five (75) feet or more from the front property line.
- e. All property pins must be located, verified and marked, by the owner or builder before setback measurements are taken. These measurements are to be taken jointly by the City Building Inspector and the owner/builder.

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ORD 13
AMEND #6
PAGE 2

SECTION 3. GENERAL CONSTRUCTION REQUIREMENTS

3. General Construction Requirements:

a. When permanent and functional toilet facilities are not available for the work force at the construction site, a chemical toilet shall be provided at all construction sites prior to commencement of work. The chemical toilet facility shall remain at the construction site until permanent, functional toilet facilities are available for the work force at the construction site.

b. For construction of a new residence or any detached or free standing structure (such as a garage) a roll-off trash container will be provided at the construction site prior to the site being cleared of brush, trees and other substances. The roll-off container shall be emptied as filled and shall be retained at the construction site until authorized to be removed by the City Building Inspector.

c. Burning of brush, trees, unwanted building materials or other substances at the construction site is expressly prohibited.

d. Prior to start of a new construction project where water service is to be provided by a water utility, a water meter and service tap shall be obtained from the water utility and shall be installed and in operation prior to commencing any construction activity other than clearing the lot for construction and "staking" out the future building.

e. No resident shall be occupied prior to satisfactory completion of the "Final" inspection and issuance of a Certificate of Occupancy by the City Building Inspector.

f. All concrete approaches (from the street to and from the property line) shall have a minimum five foot (5') wide "knock-out" panel. (See detail D-07 in attachment 2)

g. All electrical permits, installations and required inspections will be fully coordinated with all phases of the construction activities.

h. Construction sites are to be kept clean of debris to include tree limbs and tree trunks.

i. No dumping of excess concrete, fill material or other matter is permitted on City property, City easements, or any other area of the city unless approved, in advance, by the City Building Inspector.

j. Spillage or tracking of any material on the street in front of the lot (building site) or in any other area of the City will be promptly removed by the contractor.

k. The minimum size driveway culvert for a lot is sixteen inches (16"). Larger sizes will be as determined by the City Building Inspector. A headwall will be provided on each side of driveway/walk culvert.

l. No building materials, forms, equipment, etc., will be positioned on a construction site or lot prior to obtaining a building permit.

SECTION 4. FOUNDATION REQUIREMENTS

4. Foundation Requirements:

- a. Structural Fill. Strip building area of all vegetation. Install SELECT FILL by the "bagging" method in 8" lifts, consolidating the select fill with a hand operated vibratory compactor at optimum moisture content. This select fill shall have a liquid limit less than 40% and PI less than 15. Fill shall be a granular material, with maximum aggregate size of 3" and shall provide an adequate binder for compaction and stability. Bagging of the sides of the grade beams may be required.
- b. Stabilizing Base Course: The stabilizing base course below the concrete slab shall be a compacted, inert, non-expansive, flexible base material (crushed limestone) conforming to Texas Highway Department Specifications No. 248, Type A or B. Maximum particle size shall be 3". Base shall be compacted, as noted above at optimum moisture content and shall be 6" minimum in thickness.
- c. Where trees exist within five feet (5') of the foundation, grade beams shall be deepened to extend a minimum of twenty-four inches (24") below grade for a distance of five feet (5') in each direction of the tree (total length of ten feet (10')). All roots extending under the foundation shall be cut off and treated so as to prevent any future growth under the foundation.
- d. All beam soffits shall penetrate the exposed subgrade surface a minimum of six inches (6").
- e. Waterproofing below all slab areas and beams shall be equal to six (6) millimeter "visqueen" with all joints lapped a minimum of twelve inches (12").
- f. Minimum concrete strength of ³⁰⁰⁰2500 PSI in 28 days.
- g. Reinforcing shall meet ASTM615-68 grade 60. #3 may be grade 40.
- h. Reinforcing shall be lapped 30 bar diameters at splices.
- i. Additional external corner and "T" intersection tie bars shall be provided, equal in size and number, to grade beam reinforcing and lapped 30 diameters.
- j. All conduit and plumbing lines in the slab shall be placed below the slab reinforcing.
- k. Provide a maximum concrete cover of at least two inches (2") over all reinforcing.
- l. Provide #4 Z-Bars located on center as required by the slab length, where the slab steps down. Z-Bars are to lap the main slab reinforcing by 30 diameters.
- m. All openings in the slab (for piping, tub trap, etc.) shall be sealed with a minimum of twelve inches (12") of hot tar or asphalt.
- n. Beam Reinforcing. Beam reinforcing will be two #6 bars (continuous) at top and bottom of beam (exterior and interior). Stirrups for exterior beam will be #3 bars, spaced at twenty-four inches (24") on-center. Stirrups for interior beams will be #3 bars, spaced at eighteen inches (18") on-center.

SECTION 4. FOUNDATION REQUIREMENT (CONTINUED)

o. Slab Reinforcing. Typical slab reinforcing will be #4 bars, spaced at twelve inches (12") on-center each way (O.C.E.W.), centered in five inch (5") thick concrete. Slab steel is to extend to top outside bar of perimeter beam. Start slab steel spacing no more than six inches (6") from top inside beam bar. If any panel length or width is greater than sixteen feet (16'), zero inches (0") between beams, the slab steel in the entire house, garage, patio and porches is to be placed ten inches (10") on-center each way (O.C.E.W.). Under no circumstances shall a five inch (5") concrete floor panel span be greater than twenty feet (20') zero inches (0").

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p. Interior beams must be eighteen inches (18") deep and penetrate natural grade six inches (6"). If the depth of the interior beams becomes excessive in order to reach the natural grade, an alternate is permitted - "beams must be eighteen inches (18") deep and a pier the size of the beam intersection (ten inches X ten inches (10" X 10") may be poured extending six inches (6") into the natural grade and reinforced with four (4) #4 vertical bars with #3 ties at eighteen inches (18") on center vertically."

q. Site drainage during construction shall be controlled to provide a positive drainage scheme to prevent ponding of water on the subgrade.

r. Following construction foundation, backfill around slab perimeter to provide positive drainage away from the slab a minimum of ten feet (10') in all directions.

s. Concrete driveways shall be a minimum of four (4) inches thick. Reinforcing shall be #12 X 6" X 6" wire mesh except for the first twenty-five feet (25') of the approach which is to be #6 X 6 X 6 wire mesh. Knockout panels will be provided per drawing D-07 in Attachment #2.

SECTION 5. PLUMBING AND GAS REQUIREMENTS

5. PLUMBING AND GAS REQUIREMENTS:

- a. All required drain/waste vent piping shall be schedule 40 PVC-DWV.
- b. All water service lines from the meter to the building/house shall be copper or schedule 40 PVC. The ditch for the service line shall be free of large rock (over four inches (4") and shall be provided with a sand "bed" of at least four inches (4") - thick. A valve (gate or ball) will be installed at the supply side of the water meter using a meter nipple.
- c. All water lines in or below the slab shall be continuous (no joints), minimum weight type "L" copper; shall be separated from all reinforcing steel; shall be polysleeved; and shall be run below the reinforcing steel. They shall be pressure tested to "2PSI" prior to pouring of concrete.
- d. All hot water lines within twelve inches (12") of any other water line shall be insulated.
- e. All water supply connections for a lawn sprinkler system (be it a new system or an addition to an existing system) shall be made on the owner's property and no sprinkler heads and/or piping are to be installed on City property or easements. In addition, the primary water service line to a building/house will be tapped with appropriate sized "tee" connections and a separate water cut-off valve and backflow preventor (double check valve) installed ahead of the sprinkler system piping.
- f. Air chambers or other approved mechanical devices shall be provided to reduce water hammer or line noises to such an extent that no pressure hazard to the piping system will exist.
- g. Outside hose bibbs shall be equipped with an approved non-removable type vacuum breaker.
- h. Water closets shall be an approved low volume (1.6 gallon per flush) type.
- i. Floor drains shall have approved traps and a minimum water seal of three inches (3") and shall be provided with removable strainers. The open area of strainer shall be at least two-thirds of the cross section area of the drain line to which it connects.
- j. Each floor drain shall be sized to serve efficiently the purpose for which it is intended.
- k. Showerheads shall be an approved type restricting water flow to less than 2.5 gallons per minute.

SECTION 6. SWIMMING POOL REQUIREMENTS

6. Swimming Pool Requirements:

- a. Structural steel shall meet ASTM615-68, Grade 60.
- b. Minimum concrete strength of 3000 psi in 28 days
- c. Floor and walls shall have a minimum of eight inches (8") of gunite concrete with one-half inch (1/2"), #4 bars at nine inches (9") on-center, each way (OCEW).
- d. All outdoor swimming pools shall be provided with a barrier completely surrounding the pool area. (See SBCCI Standard Swimming Pool Code.)

7. INSPECTION REQUIREMENTS

7. Inspection Requirements:

a. House, Residence, Living Quarters, etc. The following Inspections are required to be satisfactorily completed, prior to any occupancy of the residence being authorized, on the construction of any house, residence living (human habitation) quarters, guest or servant quarters, to include any attached structure such as a garage, patio, porch, carport, etc.

(1) Setback/Drain Inspection. A setback/drain inspection is required after the building is staked out, outer forms in place and rough-in of drain lines is completed and filled with water.

(2) A foundation inspection is required after structural beams are formed, vapor barrier installed, reinforcing steel (beams and slab) is in place, plumbing (water) lines and electric conduit (as applicable) are installed, and prior to pouring any concrete.

(3) Structural Inspections:

(a) Framing - Building enclosed, masonry veneer NOT in place, structural members are still exposed, and fireplaces and chimneys erected or installed. A follow-on inspection will be made after insulation is installed.

(b) Plumbing/Gas - All water lines connected and system is under water pressure for test. Second floor drain lines tested for leaks. Top-out of vent lines is completed. Gas lines (as applicable) installed and under specific air pressure for test.

(c) Heating & Air Conditioning - Equipment installed and duct work for room(s) supply and return air installed.

(4) Driveway & sidewalks Inspection. A driveway and sidewalk inspection is required after forming is completed (to include required knock-out panel(s) and reinforcing steel (mesh), drainage pipes and sprinkler system conduits are in place and prior to pouring of concrete or laying of asphalt.

(5) Final Inspection. Prior to a certificate of occupancy being issued a final inspection is required after all dwelling construction/finishes and installation of equipment/fixtures and utility connections are completed; the yard is clear of all debris; positive drainage is provided away from the house in all directions; landscaping, walks, driveways, steps and retaining walls are completed with the conditions of the plans and specifications; chemical toilet and roll-off trash containers removed from site. The "Final" electrical inspection shall be completed before this inspection is conducted.

b. Garages, Workshops, Carports, Sheds, etc. The following inspections are required on the construction of any detached/free standing structure such as a garage, workshop, carport, barn, shed, gazebo, etc.

(1) Setback Inspection. A setback inspection is required after the structure is staked out and rough-in of drain line(s) are completed, as applicable.

(2) Foundation Inspection. A foundation inspection is required after structural beams are formed, reinforcing steel (beams and slab) is in place, plumbing (water) lines and electric conduit (as applicable) are installed, and prior to pouring any concrete. Portable sheds, gazebos, etc., may have concrete blocks or timbers for foundations.

(3) Structural Inspection. A structural inspection is required when building is enclosed, structural members exposed. Plumbing, gas, heat, air conditioning work roughed in as applicable.

(4) Final Inspection. A final inspection is required after the structure and finishes are completed; plumbing, gas, heat and air conditioning (as applicable) work is functional; and positive drainage away from the structure is provided.

c. Decks, Fences, Retaining Walls, New Driveways, Etc. The following inspections are required. on constructions projects such as fences, retaining walls, new driveways, sidewalks, fire places, chimneys, uncovered patios, yard decks, pool decks, spa decks, underground lawn sprinkler systems, etc.

(1) Setback/Location Inspection. A setback/location inspection is required to assure compliance with the building code as related to other facility systems and lot property lines.

(2) Structural Inspection. A structural inspection is required upon completion of forms, placement of reinforcing steel and/or wire mesh, and rough-in of piping as applicable.

(3) Final Inspection. A final inspection is required when all work has been completed according to the approved plans.

d. Swimming Pools, Spas, Etc. The following inspections are required on construction of swimming pools, spas, and similar type facilities.

(1) Setback/Location Inspection. A setback/location inspection is required to assure compliance with the building code as related to other facility systems and lot property lines.

(2) Structural Inspection. A structural inspection is required when reinforcing steel is in place and pool piping tested for leaks (in-ground pools). Above-ground pools assembled and braced per manufacturer's instructions.

(3) Final Inspection. A final inspection is required when the pool is completed and filled with water for operational check of circulation/filter system, back flow protection provided on the water fill system, and a barrier is provided around the pool.

e. Water Wells. The following inspections are required for drilling of water wells;

(1) Setback/Location Inspection. A setback/location inspection is required to assure compliance with the building code as related other facility systems and lot property lines.

(2) Plumbing Inspection. A plumbing inspection is required when rough-in of the required piping, pumps, filters, valves, etc. is completed.

(3) Final Inspection. A final inspection is required when all work has been completed and the pumping system can be checked.

f. The builder/owner will notify the City Building Inspector twenty-four (24) hours in advance for all required inspections.

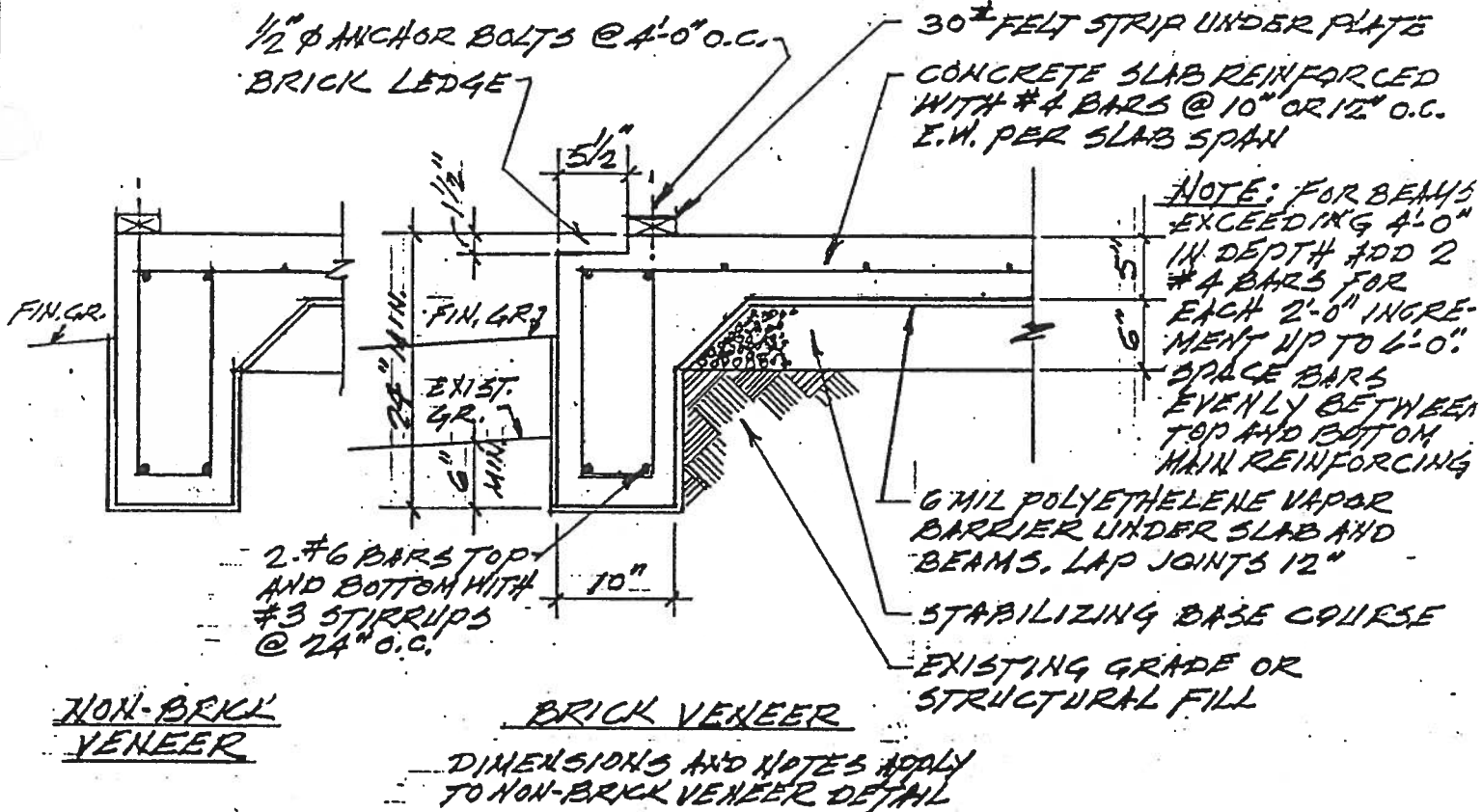
g. A reinspection is required when a violation of this code is discovered or detected during any inspection or when a violation of this code is reported to, and is confirmed by, any Building or Electrical Inspector of the City of Garden Ridge. A reinspection fee, as designated in Ordinance No. 11, City of Garden Ridge, shall be assessed for each required reinspection and shall be paid before the reinspection is accomplished.

MINIMUM BUILDING REQUIREMENTS
(FOUNDATION AND STRUCTURAL DETAILS)

CITY OF GARDEN RIDGE

As ordained by City of Garden Ridge Ordinance Number 19, this attachment contains Minimum Building (Foundation and Structural details) requirements of the City of Garden Ridge. Specific requirements/details are setforth in the drawings listed below which are a part of this attachment.

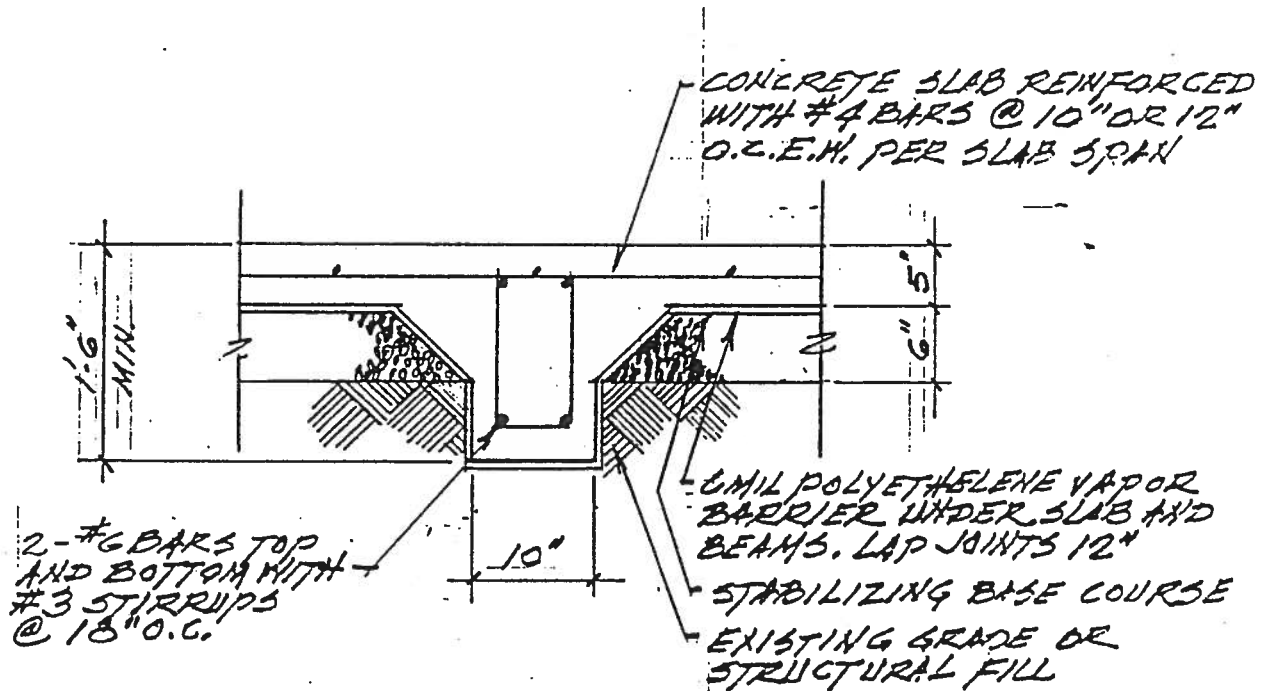
<u>DRAWING REFERENCE</u>	<u>TOPIC</u>
D-01	EXTERIOR GRADE BEAM
D-02	INTERIOR GRADE BEAM
D-03	DROP SLAB
D-04	RECESSED SLAB
D-05	DETACHED GARAGE/CARPORT EXTERIOR GRADE BEAM
D-06	ADDITIONAL BEAM REINFORCING
D-07	KNOCKOUT PANEL (DRIVEWAY)
D-08	NOT YET DEFINED
D-09	MASONRY VENEER TYPICAL WALL SECTIONS
D-13	GRAVEL STOP AT EAVES



D-01

EXTERIOR GRADE BEAM

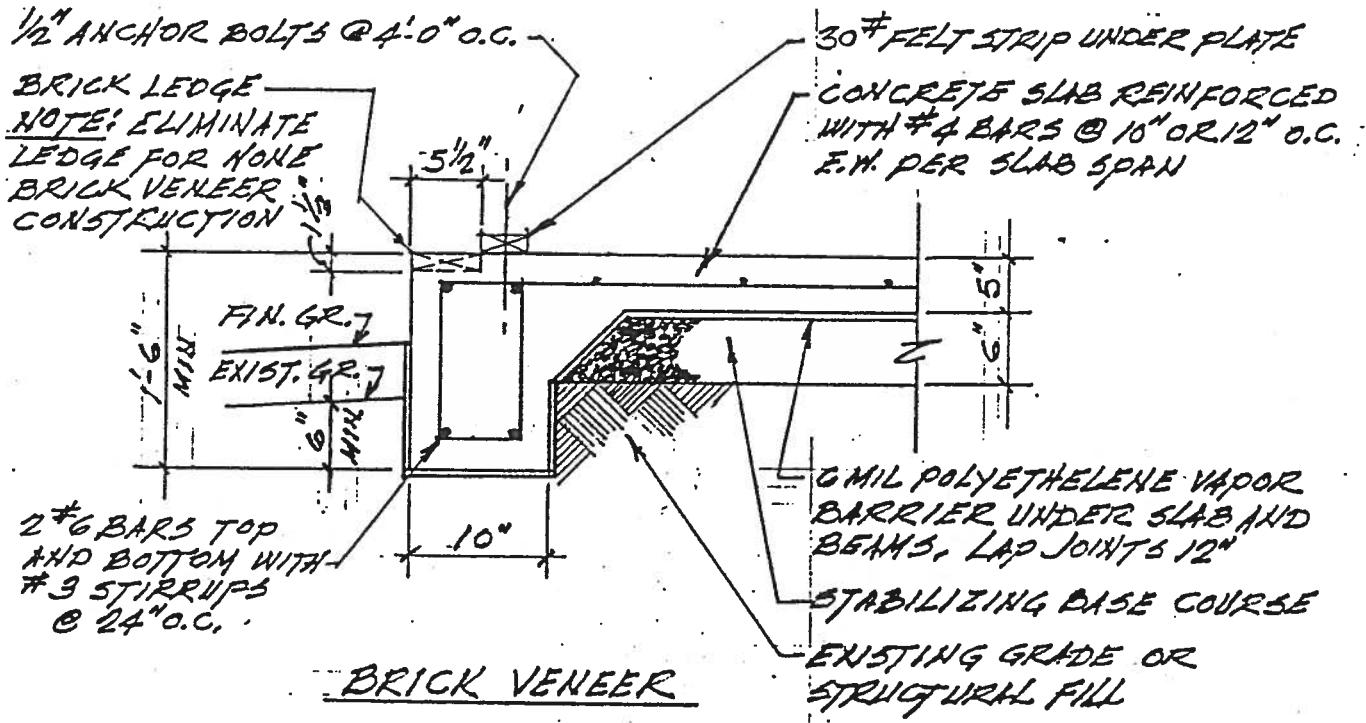
SCALE: $\frac{3}{4}$ " = 1'-0"



D-02

INTERIOR GRADE BEAM

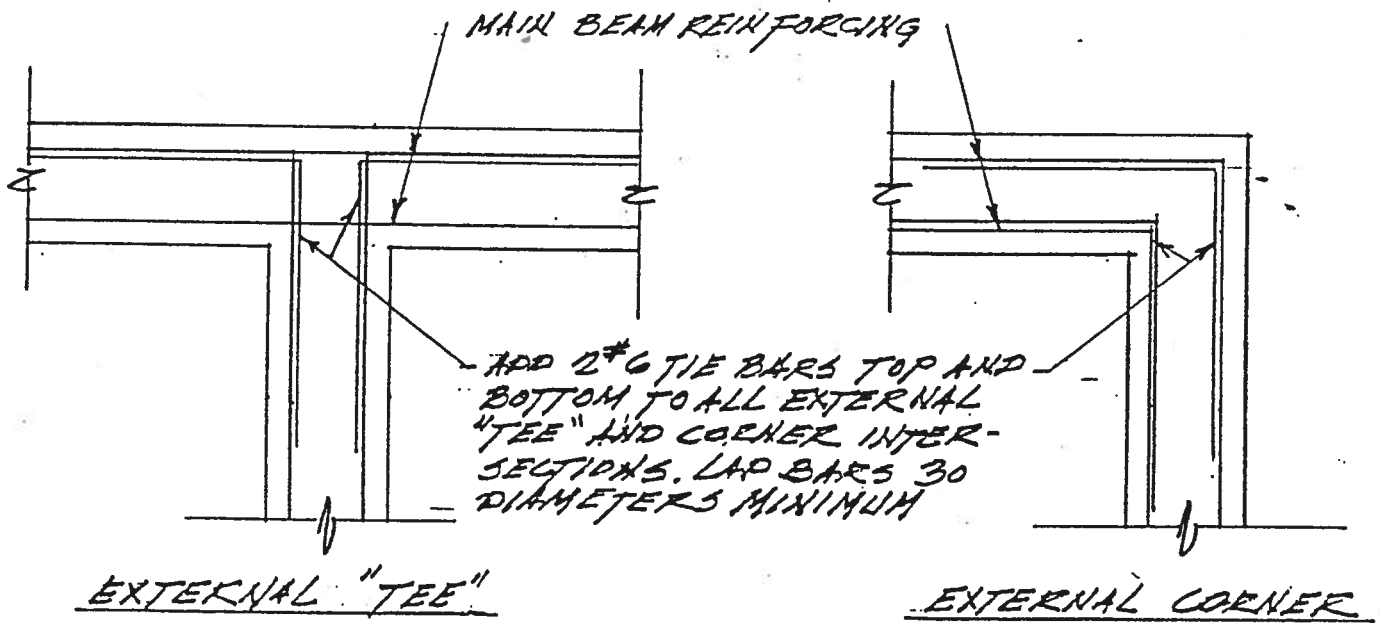
SCALE: $\frac{3}{4}$ " = 1'-0"



DETACHED GARAGE
EXTERIOR GRADE BEAM

SCALE: $\frac{3}{4}$ " = 1'-0"

D-05

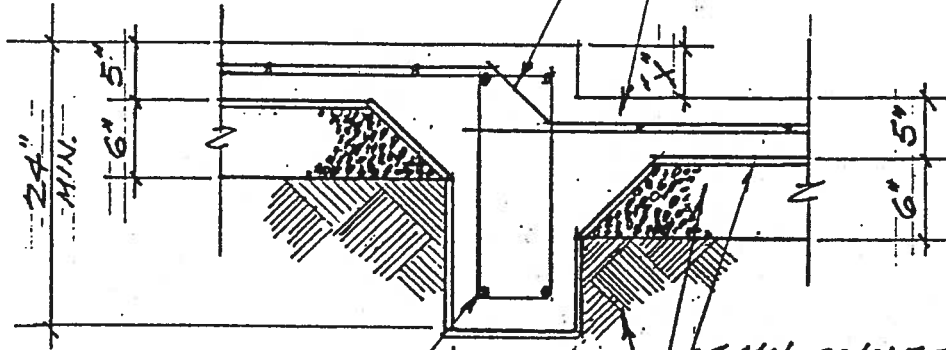


ADDITIONAL BEAM
REINFORCING

SCALE: $\frac{3}{4}$ " = 1'-0"

D-06

NOTE:
 DIMENSION "X" DETERMINED
 BY ARCHITECTURAL REQUIRE-
 MENTS OVER 6"



#4 "Z" BARS @ 10" OR 12" O.C.E.W.
 18" MIN. INTO EACH SLAB

CONCRETE SLAB REINFORCED
 WITH #4 BARS @ 10" OR 12"
 O.C.E.W. PER SLAB SPAN

2-#6 BARS TOP AND
 BOTTOM WITH #3
 STIRRUPS @ 18" O.C.

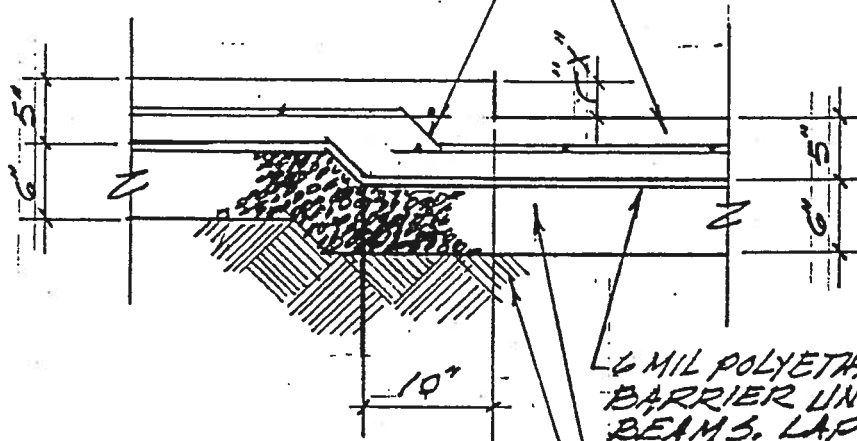
6 MIL POLYETHYLENE VAPOR
 BARRIER UNDER SLAB AND
 BEAMS. LAP JOINTS 12"
 STABILIZING BASE COURSE
 EXIST. GRADE OR
 STRUCTURAL FILL

D-03

DROP SLAB

SCALE: $\frac{3}{4}" = 1'-0"$

NOTE:
 DIMENSION "X" DETERMINED
 BY ARCHITECTURAL REQUIRE-
 MENTS UNDER 6"



#4 "Z" BARS @ 10" OR 12" O.C.E.W.
 18" MIN. INTO EACH SLAB

CONCRETE SLAB REINFORCED
 WITH #4 BARS @ 10" OR 12"
 O.C.E.W. PER SLAB SPAN.

6 MIL POLYETHYLENE VAPOR
 BARRIER UNDER SLAB AND
 BEAMS. LAP JOINTS 12"
 STABILIZING BASE COURSE
 EXISTING GRADE OR
 STRUCTURAL FILL

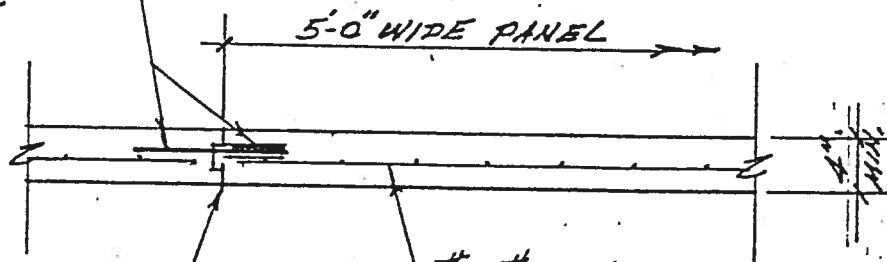
D-04

RECESSED SLAB

SCALE: $\frac{3}{4}" = 1'-0"$

JGM-8-91

#4 DOWELS 12" LONG
AT 36" O.C. WRAP
END IN PANEL



COLD JOINT EACH
SIDE OF PANEL

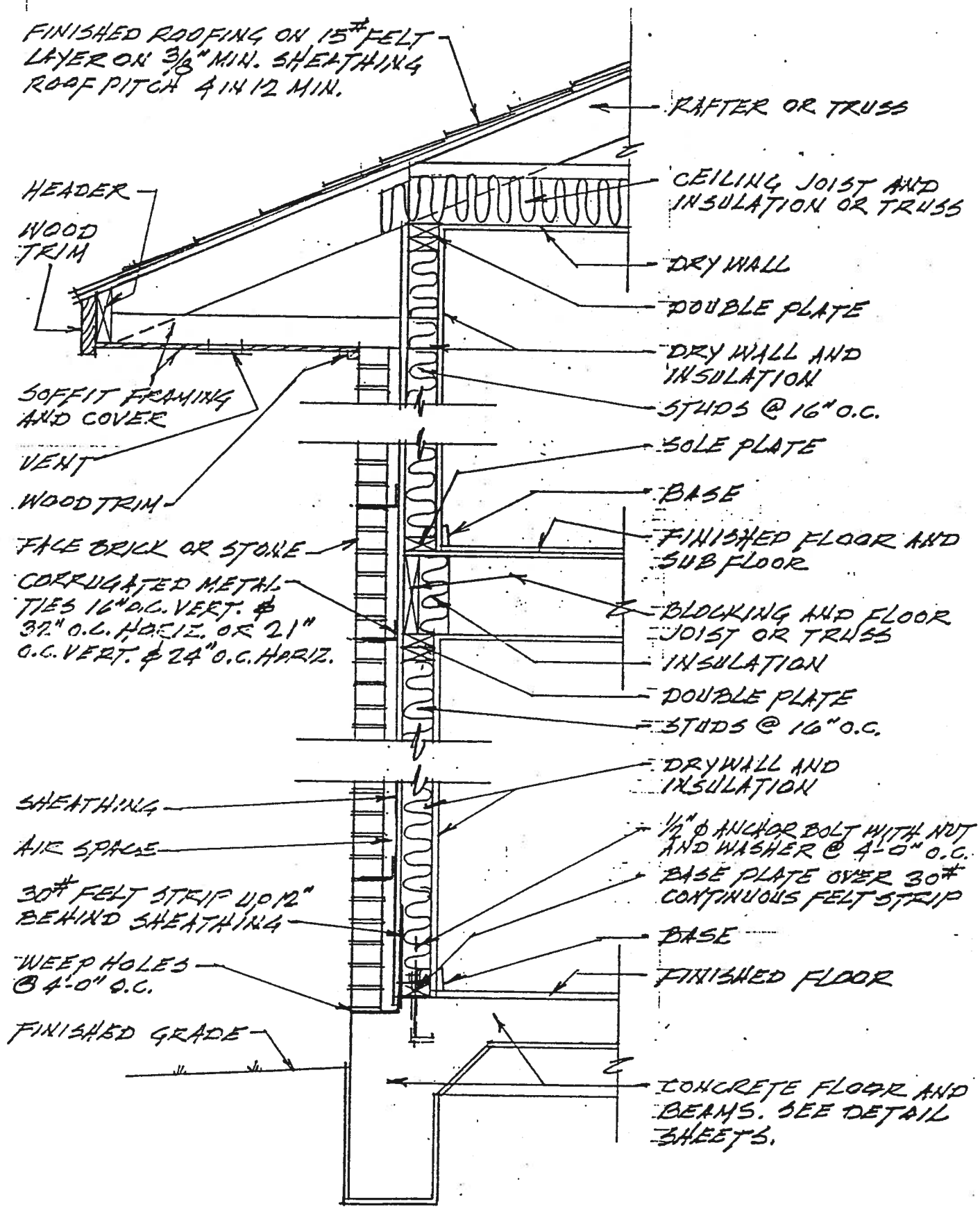
#6 X 6 X 6" WELDED WIRE MESH
REINFORCING. DO NOT CONTINUE
THROUGH PANEL JOINTS

- NOTE:
- LOCATE PANEL IN ALL CONCRETE APPROACHS TO DRIVEWAYS AND SIDEWALKS. CENTER PANEL BETWEEN EDGE OF PAVED STREET AND PROPERTY LINE. EXTEND COMPLETELY ACROSS APPROACH.

D-07

KNOCKOUT PANEL

SCALE: $\frac{3}{4}'' = 1'-0''$



MASONRY VENEER

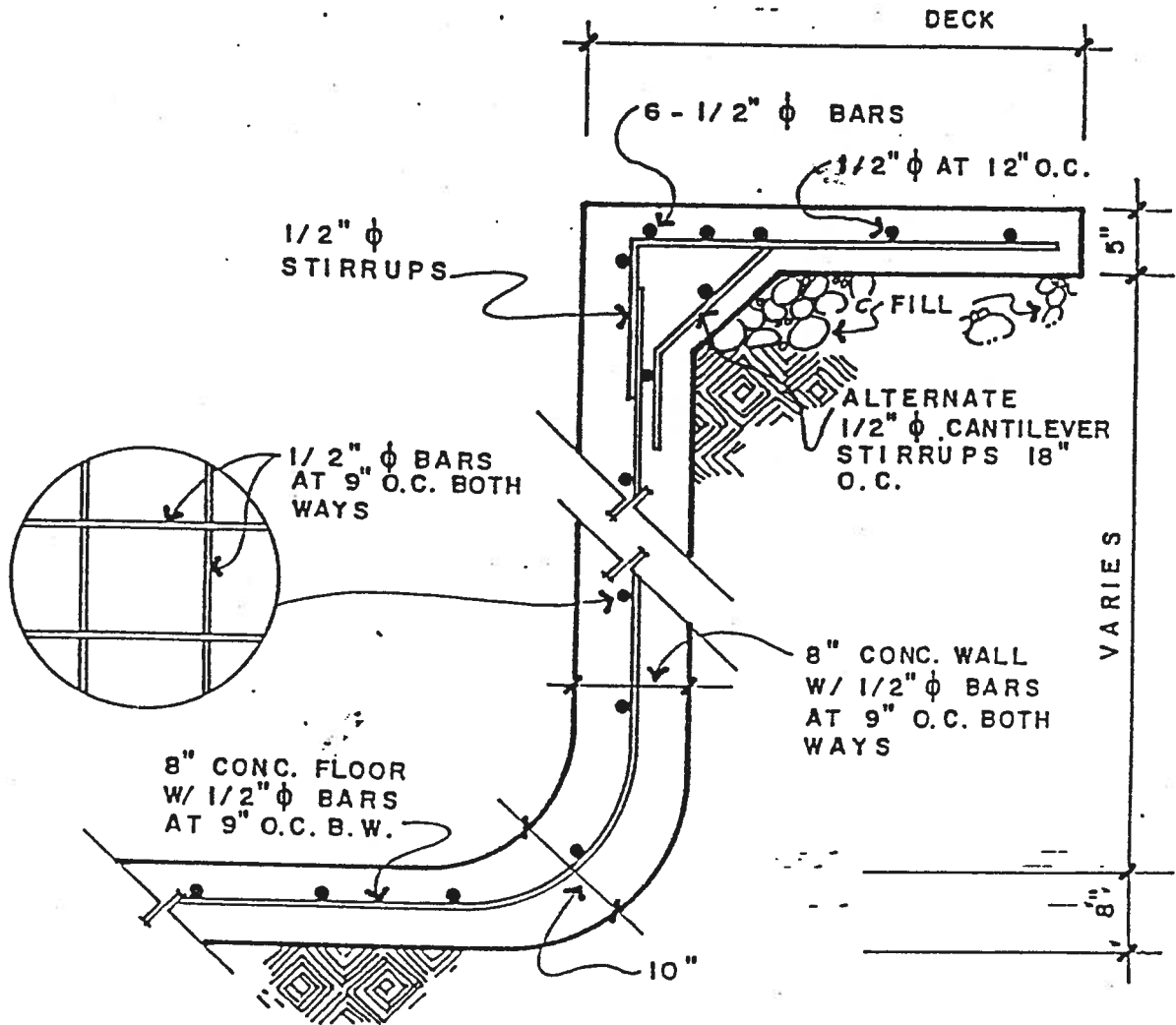
TYPICAL WALL SECTION

SCALE: $\frac{3/4"}{1'} = 1'-0"$

JGM-8-91

D-09

STRUCTURAL STEEL REINFORCEMENT SYSTEM



SECTION

D-10

POOLS & SPAS

Amendment #1
ORDINANCE #19

AN ORDINANCE AMENDING ORDINANCE 19 BY ADOPTING PARAGRAPHS 905.2 THROUGH 905.2.5 OF THE SBCCI 1994 STANDARD BUILDING CODE PERTAINING TO THE INSTALLATION OF SMOKE DETECTORS IN NEW CONSTRUCTION AND DEFINING THESE REQUIREMENTS BY ADDING ATTACHMENT #3 TO SECTION 2.g.

WHEREAS, The City Council of the City of Garden Ridge deems it necessary to amend this Ordinance providing requirements for building construction in order to protect the health, safety and welfare of the citizens of Garden Ridge.

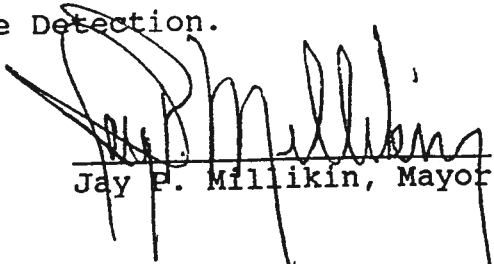
NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARDEN RIDGE, COMAL COUNTY, TEXAS:

SECTION 2:

THAT, the City of Garden Ridge, Comal County, Texas, hereby amends the minimum building requirements by adding Attachment #3 to subparagraph g. which defines the requirement for installing and wiring smoke detectors in new construction using the standards set in the 1994 Standard Building Code published by the Southern Building Code Congress International.

PASSED AND APPROVED this the 1st day of February 1995.

ADDED: ATTACHMENT 3, Automatic Fire Detection.


Jay P. Millikin, Mayor

ATTEST:


James A. Jeffers, City Secretary

AMEND. # 1

ATTACHMENT NO. 3
ORDINANCE NO. 19
PAGE 1 OF 1
EFFECTIVE 02/01/95

MINIMUM BUILDING REQUIREMENTS

AUTOMATIC FIRE DETECTION

CITY OF GARDEN RIDGE

As ordained by City of Garden Ridge Ordinance Number 19, this attachment which is a modification of the SBCCI, 1994 Standard Building Code paragraphs 905.2.1 through 905.2.5 (reprinted below) represents the minimum fire detection building standard for new construction in the City of Garden Ridge.

905.2.1 An approved single-station or multiple-station smoke detectors shall be installed in accordance with NFIPA 74 within every dwelling (single family residence) and WITHIN EVERY ROOM USED FOR SLEEPING PURPOSES. Where more than one detector is required to be installed within an individual dwelling unit, the detectors shall be wired in such a manner that the actuation of one alarm will actuate all of the alarms in the individual unit.

905.2.2 In SINGLE FAMILY DWELLINGS, a smoke detector shall be mounted on the ceiling or wall at a point centrally located in the corridor or area giving access to each group of rooms used for sleeping purposes, AND WITHIN EACH ROOM USED FOR SLEEPING PURPOSES. Where the dwelling contains more than one story, detectors are required on each story including basements, but not including uninhabitable attics, and shall be located in close proximity to the floor above.

905.2.3 In dwelling units with split levels and without an intervening door between the adjacent levels, a smoke detector installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

905.2.3 Smoke detectors connected to a fire protective signaling alarm system shall be installed in accordance with NFIPA 72 and 72E.

905.2.5 In dwellings, and dwelling units, SMOKE DETECTORS SHALL BE HARDWIRED INTO AN AC ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP IN ALL NEW CONSTRUCTION. A monitored battery power source shall be permitted in existing construction.

AN ORDINANCE AMENDING ORDINANCE 19, SECTION 5, PARAGRAPH 5 e TO ALLOW THE INSTALLATION OF LAWN SPRINKLER HEADS ON CITY RIGHT-OF-WAY ADJACENT TO STREET CURBING.

WHEREAS, The City Council of the City of Garden Ridge deems it desirable to amend this ordinance to allow installation of lawn sprinkler heads in the City right-of-way to promote homeowner care and maintenance of landscaping and turf.

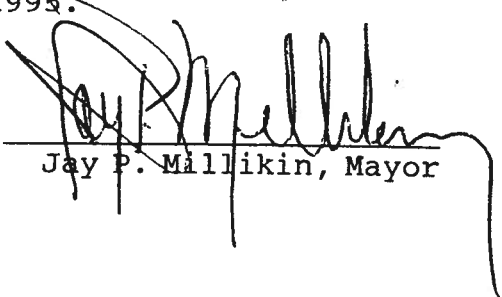
NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARDEN RIDGE, COMAL COUNTY, TEXAS:

SECTION 5: Plumbing and Gas Requirements

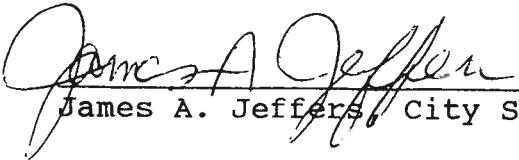
THAT, the City of Garden Ridge, Comal County, Texas, hereby changes Section 5, Paragraph 5 e. in its entirety to now read:

All water supply connections for a lawn sprinkler system (be it a new system or an addition to an existing system) shall be made on the owner's property. In addition, the primary water service line to a building/house will be tapped with appropriate sized "tee" connections and a separate water cut-off valve and a double check valve backflow preventer installed ahead of the sprinkler system piping. Only those sprinkler heads that are installed flush with, or below grade and connected to flexible tubing are authorized for use on City right-of-way. The placement of a pressurized water supply line in the City right-of-way is prohibited. The homeowner assumes all risks for breakage and the responsibility for repair of both the sprinkler system and any soil erosion resulting from breakage of sprinkler heads or lines.

PASSED AND APPROVED this 5th day of July 1995.


Jay P. Millikin, Mayor

ATTEST:


James A. Jeffers, City Secretary

Amendment 3
ORDINANCE 19

AN ORDINANCE AMENDING ORDINANCE 19, ATTACHMENT 1, SECTIONS 3 AND 4 TO:

(1) ADD PARAGRAPH 3m and Attachment 1, Section 3, Appendix A. ESTABLISHING REQUIREMENTS FOR TEMPORARY EROSION, SEDIMENTATION AND WATER POLLUTION PREVENTION AND CONTROL.

(2) ADD PARAGRAPH 4t ESTABLISHING REQUIREMENTS FOR A TEXAS PROFESSIONAL ENGINEER TO SIGN AND SEAL FOUNDATION PLANS AND ATTEST THAT CONSTRUCTION OF FOUNDATION BASEWORK AND FOUNDATION WAS IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.

WHEREAS, The City Council of the City of Garden Ridge deems it necessary to amend this ordinance to require controls during construction to prevent sediment from active building sites damaging adjacent lots and obstructing drainage structures.

WHEREAS, The City Council of the City of Garden Ridge deems it necessary to amend this ordinance to require a professional engineer to sign and seal foundation plans and certify that foundation basework and foundation was constructed in accordance with construction documents. This is to give assurance of a structurally sound foundation.

NOW, THEREFORE, IT IS ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARDEN RIDGE, COMAL COUNTY, TEXAS THAT:

(1) The City of Garden Ridge, Comal County, Texas hereby changes Ordinance 19, Attachment 1, Section 3. General Construction Requirements, to add new paragraph 3.m. and Appendix A. as follows:

3.m. TEMPORARY EROSION, SEDIMENTATION AND WATER POLLUTION PREVENTION AND CONTROL.

(1) GENERAL REQUIREMENTS:

(a) The builder and subcontractors shall effectively control erosion and sedimentation on the

building lot starting from site preparation to issuance of the Certificate of Occupancy.

(b) The builder and subcontractors shall limit soil scraping or removal to the building site shown on the plans or as directed by the City Inspector. The Inspector has the authority to limit the soil surface disturbed by construction operations. If, in the opinion of the Inspector, the builder is not able to control soil erosion and sedimentation from construction operations, the Inspector shall limit the disturbed area to that which the builder is able to control.

(c) Should the installed control measures fail to function effectively, the builder shall act immediately to control erosion and sedimentation by maintaining existing controls or by providing additional controls as directed by the City Inspector. When, in the opinion of the City Inspector, the lot surface is stable, the builder shall remove temporary control measures, excepting mulches and soil retention blankets, and properly dispose of materials. Soil retention blankets shall be removed only if the City Inspector agrees that final permanent perennial seeding would be adversely affected by their presence.

(d) Provide periodic inspections of temporary erosion, sedimentation and water runoff controls to keep all in working order. Remove sediment and repair devices, if required, when practical but no later than 7 days after the surrounding exposed ground has dried sufficiently to prevent further damage from equipment needed for repair or removal operations.

(e) In the event of prolonged rainfall over a 24 hour period, or other circumstance that precludes equipment operation in the area, the builder will hand carry and install additional backup devices as determined by the City Inspector. The builder will remove silt accumulations and haul off or deposit the spoils in an area approved by the City Inspector as soon as practical. Take corrective action needed for the control measures in the sequence directed by the City Inspector. Areas adjacent to water bodies shall generally have priority followed by devices protecting storm sewer and drainage inlets and outlets.

(f) The City Inspector has authority to stop work and require the builder to install a construction entrance and exit should the builder or subcontractors fail to keep public streets, alleys, sidewalks, or parking lots free of tracked sediment and mud.

(2) PRACTICES AND CONTROLS. The builder and subcontractors shall conform to the following practices and controls:

(a) Construct stockpiles in a manner that will minimize and control the amount of sediment that may enter receiving ditches, channels or waters. Do not locate disposal areas in any wetland, water body, stream bed or drainage way.

(b) Provide enclosed, ventilated storage for paints, chemicals, solvents, fertilizers, oils, fluids, fuels, and other potentially toxic materials will at a location approved by the Inspector.

(c) Construct staging areas and vehicle maintenance areas in a manner to minimize the runoff of pollutants. Prevent pollution of ditches, channels and receiving waters with petroleum products or other hazardous or regulated substances. Take care during the construction and removal of control measures to minimize down-gradient sedimentation. When work areas or material sources adjoin a water body, use control measures to protect the water body.

(d) Limit disturbance of vegetation to only areas on which construction will start within two weeks or as directed by the City Inspector in writing.

(e) The builder shall clear paved surfaces of accumulations of mud and sediment within 24 hours or as directed by the Inspector.

(f) Builder shall implement and maintain an effective dust control program to prevent fugitive dust from leaving construction site and stockpiles.

(3) PROJECT ACCEPTANCE: A Certificate of Occupancy (CoE) will not be issued until the lot has a uniform perennial vegetative cover with a density of 70% of adjacent undisturbed areas, or temporary measures (such as

mulching with seed, hay bales, sediment control fences, earth dams, etc.) have been employed that will control erosion, sedimentation and water pollution until sufficient vegetative cover exists. The owner is responsible for maintaining temporary control devices after issuance of the CoE

(4) FAILURE TO PERFORM: Should the Builder or subcontractors fail to prevent and control soil erosion, sedimentation and water pollution that may degrade receiving water, the City reserves the right to employ outside assistance or to use city forces to take the necessary corrective measures. All costs including engineering costs will become due from the property owner at the time of the City action.

(5) PRACTICES AND SPECIFICATIONS: Accepted practices and specifications for meeting the above requirements for various conditions and applications are in Appendix A

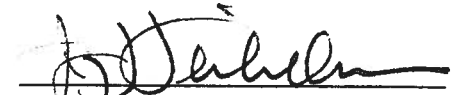
(2) The City of Garden Ridge, Comal County, Texas hereby changes Ordinance 19, Attachment 1, Section 4. Foundation Requirements, to add new paragraph 4.t. as follows:

4.t. Foundation design and construction.


(1) Foundation plans shall be signed and sealed by a Texas Professional Engineer. The basework and structural design criteria shall meet or exceed minimum requirements specified by City ordinance.

(2) The contractor shall provide the City inspector a letter, signed and sealed by a Texas Professional Engineer, stating that the foundation and foundation basework was constructed in accordance with the construction documents.

PASSED AND APPROVED this third day of September 1997


Jay F. Feibelman, Mayor

Attest:


Judy Tokar, City Secretary

Ordinance 19
Attachment 1, Section 3
Appendix A

Accepted Practices and Specifications for Temporary Erosion, Sedimentation and Water Pollution Prevention and Control.

1. Temporary Sediment Control Fence (Silt Fence).

1.1. Install a temporary sediment control fence prior to and during construction to control erosion and sedimentation.

1.2. The fence shall be a net-reinforced fence, using woven geotextile fabric. Fence fabric may be polyester, polypropylene or polyamide and shall be resistant to ultraviolet degradation, mildew and rot and shall be suitable for use in a wet soil and stagnant water environment. The edge of woven fabric shall be sealed or salvaged to prevent raveling. Fabric shall be at least 36 inches wide with 6 to 8 inches of the width buried in a trench to prevent undercutting.

1.3. Fence posts shall be a minimum of 48 inches long, essentially straight, and shall be wood or steel, unless otherwise shown on the plans. Soft wood posts shall be at least 3 inches in diameter or nominal 2 x 4 inches. Hardwood posts shall have a minimum cross section of 1.5 x 1.5 inches. Steel posts shall be "T" or "L" shaped with a minimum weight of 1.3 pounds per linear foot.

1.4. Net reinforcement shall be galvanized welded wire mesh of a minimum 12.5 gauge wire or equal with a maximum opening size of 2 inches by 4 inches and shall be at least 24 inches wide.

1.5. Staples used to secure reinforcement and fabric to wood posts shall have a crown at least $\frac{3}{4}$ inch wide and legs $\frac{1}{2}$ inch long.

1.6. Previously used materials, meeting the above requirements, are acceptable if approved by the Inspector.

1.7. The temporary sediment control fence shall be used during construction near the downstream perimeter of a disturbed area to intercept sediment from sheet flow.. Install the fence as follows:

1.7.1. Imbed posts 18 inches deep, or adequately anchor in rock, with a spacing of 6 to 8 feet, with a slight angle toward the anticipated run-off source.

1.7.2. Dig a trench along the uphill side of the fence to anchor 6 to 8 inches of fabric. The trench shall have a minimum cross section of 6 x 6 inches. Install the fabric in the trench such that 4 to 6 inches of fabric is against the side of the trench and approximately 2 inches of fabric is across the bottom in the upstream direction. Back fill and hand tamp the trench as approved by the Inspector.

1.7.3. Attach the reinforcement for the fabric to the end posts, if wood, by staples, or if steel, by T-clips or sewn vertical pickets at a minimum of 4 locations. Attach the reinforcement to each succeeding post as approved by the City inspector. Connect the ends of successive reinforcement sheets or rolls at a fence post at least 6 times with hog rings. Fasten the fabric shall to the top strand of reinforcement by hog rings or cord at a maximum spacing of 15 inches.

1.7.4. Make fabric splices at a post with a minimum lap of six (6) inches attached in at least six (6) places. Splices in concentrated flow areas are forbidden.

1.7.5. The builder shall keep the temporary sediment control fence in good condition (including staking, anchoring, tension adjustment, etc.). All necessary work and materials to maintain the integrity of the fence, including keeping fabric free of accumulated silt, debris, etc., shall be provided until the disturbed area is stable.

1.7.6. Repair torn or punctured fabric by placing a patch of an additional layer of fabric over the damaged area. The patch shall have a minimum overlap of 18 inches in all directions and be securely attached to the repaired fabric.

1.7.7. Remove accumulated sediment deposits when approximately 6 inches deep, and dispose of at approved sites in a manner that will not contribute to additional

siltation. If the structure ceases to function as intended, the City Inspector may direct that the fence or portions thereof be replaced.

2. Construction Entrance and Exit.

2.1. Install construction entrances and exits before start of construction to control the tracking of sediment, mud, gravel, etc. from the building site to a public right of way, street, sidewalk or parking area. Placement should coincide with driveway locations whenever possible.

2.2. Rock used for construction entrances or exits shall consist of open-graded crushed stone with a size of two to four inches. The aggregates shall be clean, hard, durable materials. Aggregates shall be free from adherent coatings, salt, alkali, dirt, clay, loam, shale, soft or flaky materials, or organic and injurious matter.

2.3. When tracking conditions exist, traffic shall not be allowed to cross or leave the construction site and move directly onto a public roadway, alley, sidewalk, parking area, or other right of way in areas other than at locations of construction entrances or exits.

2.4. Keep entrances or exits in a condition that will prevent tracking or flowing of sediment onto public right of way. This may require periodic removal and replacement of stone or other material as conditions demand and repair and/or clean out of any measures used to trap sediment. The builder shall immediately remove sediment spilled, dropped, washed or tracked onto public right of way and dispose of it at an approved site and in a manner that will not contribute to additional siltation.

2.5. Clean wheels as needed to remove sediment prior to entrance onto public right of way. When washing is required, grade the construction exit to drain into a sediment trap or sediment basin. Sediment shall be kept from leaving the construction site.

2.6. Remove construction entrances and exits promptly when directed by the City Inspector. Discarded materials shall become the property of the builder for his disposal at an approved site. The builder shall stabilize the area beneath the construction entrance and exit and any area damaged by

the removal process using appropriate methods as approved by the City Inspector.

3. Baled Hay for Erosion and Sedimentation Control.

3.1. Install baled hay temporarily during construction to control erosion and sedimentation in swales and ditches.

3.2. Hay bales used shall weigh a minimum of 50 pounds, be composed entirely of vegetable matter, and measure at least 30 inches in length. Bales shall be bound by wire, nylon or polypropylene string.

3.3. Install hay bales end to end perpendicular to the flow of water by embedding in the soil a minimum of 4 inches, and where possible, approximately one half the height of the bale, or as directed by the City Inspector. Gaps between bales shall not exceed one inch and shall be filled with hay. Stake bales with two (2) number 4 rebar placed at each end of the bale and driven at least 6 inches into the ground. The bales shall extend the full width of the swale or ditch and extend at least one foot beyond the expected flow line

3.4. The builder shall keep the baled hay installation in good condition. All necessary work and materials to maintain the integrity of the installation shall be provided until permanent erosion-control features are in place and/or the disturbed area has been adequately stabilized. The builder shall stabilize the area beneath the baled hay and area damaged by the removal process using appropriate methods as approved by the City Inspector.

3.5. Remove the accumulated sediment when it is approximately 6 inches deep and deposit it at approved sites in a manner that will not contribute to additional siltation. If the installation ceases to function as intended due to washouts, deterioration of hay bales, etc., the City Inspector may direct that the installation or portions thereof be replaced.

4. Gravel Filter Bag(s).

4.1. Install temporary "Gravel Filter Bag(s)" during the construction period to prevent sediment from erosion of the

construction area from being carried (washed) from the construction area by rainwater runoff. These can be used in swales much like hay bales. Typical use is around curb inlets and area drain inlets.

4.2. Gravel Filter Bags shall be of Polypropylene, polyethylene, or polyamide woven fabric, minimum unit weight four (4) ounces per square yard, Mullen burst strength exceeding 300 psi and ultraviolet stability exceeding 70 percent. Length approximately 24", width 16" to 18" and thickness 6". Fill gravel bags with $\frac{3}{4}$ " gravel

4.3. Install gravel filter bags at an angle that is perpendicular to the flow of water. Install the gravel filter bags extending from the curb toward the centerline of the street, to a maximum distance of 4' from the curb line.

Place gravel filter bags so that there are no apparent openings between bags. If necessary, as determined by the City Inspector, position additional gravel filter bag(s) sets downstream, or upstream, from the initial set of gravel filter bag(s). If possible, position successive sets such that the lowest ground elevation of the upstream set is approximately level with the top of the downstream